



Branch Corner Area Structure Plan



March 2010

Branch Corner Area Structure Plan Table of Contents

1	INTRODUCTION	1
1.1	Purpose.....	1
1.2	Location	1
1.3	Policy Context	2
1.4	Process	2
2	EXISTING CONDITIONS.....	4
2.1	Surrounding Land Uses	4
2.2	Natural Features.....	4
2.3	Existing Land Use and Zoning.....	5
2.4	Existing Road System	5
2.5	Municipal Services.....	6
2.6	Pipelines	7
2.7	Implications for Future Development.....	7
3	LAND USE CONCEPT	9
3.1	Future Land Use.....	9
3.2	Future Road System	11
3.3	Municipal Servicing	12
3.4	Stormwater Management	13
4	PLAN POLICIES	14
4.1	Land Use Policies	14
4.2	Transportation Policies	16
4.3	Municipal Servicing Policies.....	16
4.4	Implementation Policies	17
5	CONCLUSION.....	18

Appendix A: Draft Highway 16 Corridor Overlay District

Appendix B: Illustrative Subdivision Design

List of Figures

	After page
Figure 1: Location Plan	1
Figure 2: Aerial Photo	4
Figure 3: Existing Land Use.....	5
Figure 4: Existing Zoning	5
Figure 5: Pipelines	7
Figure 6: Land Use Concept	9
Figure 7: Stormwater Management Concept.....	13

1 INTRODUCTION

1.1 Purpose

This Area Structure Plan (ASP) provides a framework for the future rezoning, subdivision and development of lands located along Highway 16 in Yellowhead County, one mile east and west of the Highways 16/47 interchange. The lands are referred to as Branch Corner.

The Plan will replace the existing Branch Corner Area Structure Plan Bylaw No.5.98 that was adopted in 1998. A number of amendments to the 1998 plan have been approved resulting in need to consolidate the amendments in an updated Area Structure Plan. Also, the adoption of the Edson West Area Structure Plan that applies to lands located between Branch Corner and the Town of Edson provides an opportunity for connectivity between the two plans. Because Highway 16 is being upgraded over time to freeway standard, all at grade intersections will be closed and traffic in the area will be directed to two interchanges including a future interchange on the west side of Edson and the existing interchange at Branch Corner. This means that road connectivity between the two Plan areas is particularly important.

The future Land Use Concept for Edson West designates the lands along Highway 16 as business commercial/light industrial proposes. This designation will need to be considered by the Branch Corner Area Structure Plan to ensure land use compatibility between the two Plan areas.

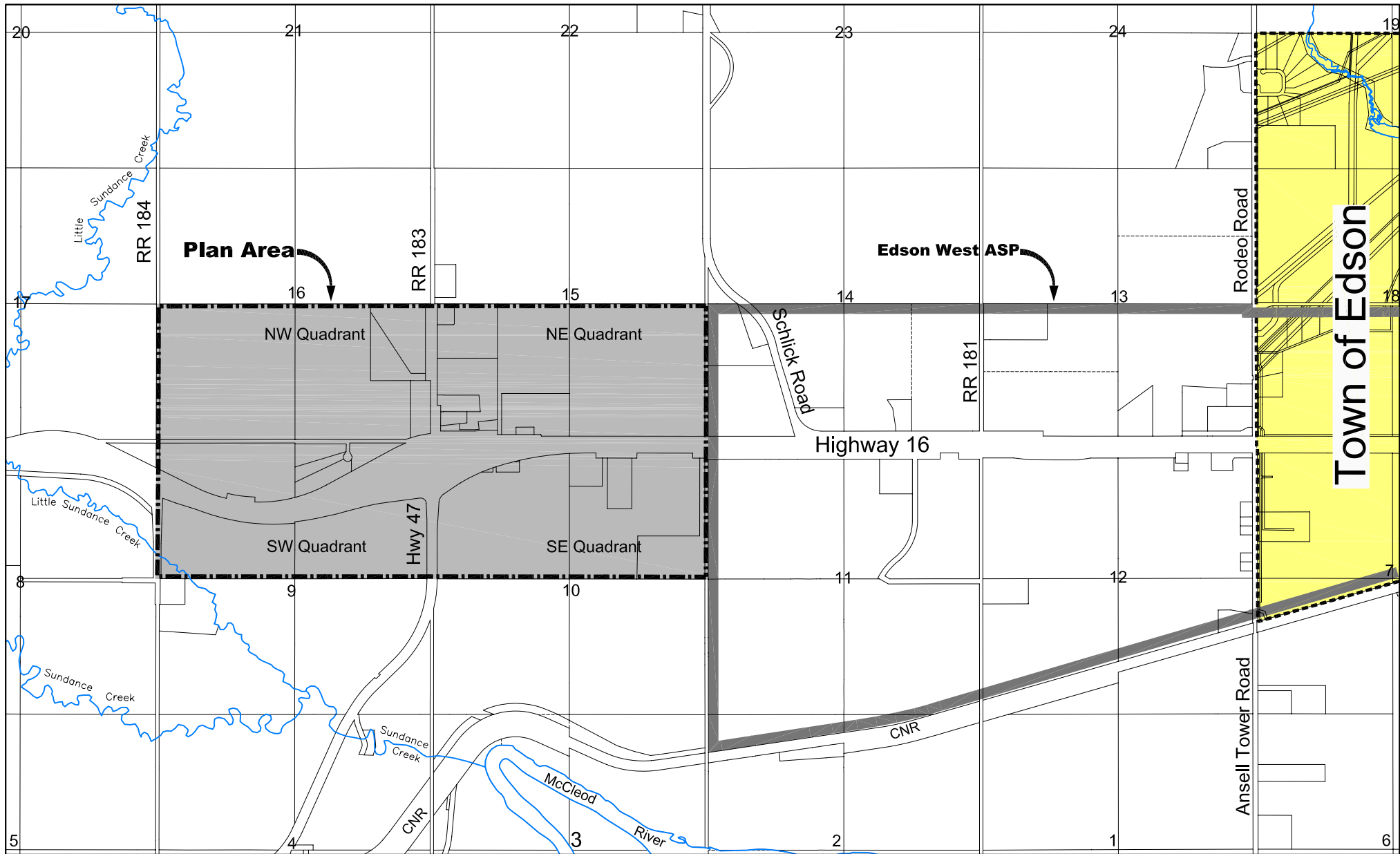
Yellowhead County and the Town of Edson are undertaking a Master Servicing Plan that will determine if municipal piped water from the Town can be extended through Edson West to Branch Corner so that coordination of utility extensions between the two Plan areas may also be important. For efficiencies and to ensure connectivity, the Branch Corner update and Edson West Area Structure Plan were prepared concurrently.

1.2 Location

The location of the Area Structure Plan area is illustrated by Figure 1. As is noted above, the area extends one mile east and west of Highway 47, and about half a mile on either side of Highway 16. It is located adjacent the west boundary of the Edson West Area Structure Plan site and two miles west of the Town of Edson. It is legally describes as:

- N ½ of 9-53-18 W5M
- N ½ of 10-53-18 W5M
- S ½ of 15-53-18-W5M
- S ½ of 16-53-18-W5M

The Plan area comprises some 533 hectares (1,317 acres).



Branch Corner Area Structure Plan

**Figure 1
Location
Plan**



N.T.S.
January 2010



1.3 Policy Context

This Area Structure Plan complies with the provisions of section 633 of the Municipal Government Act. The Plan also complies with the provisions of Yellowhead County's Municipal Development Plan Bylaw No. 1.06. Specifically, the Area Structure Plan complies with the General Requirements for Various Planning Subdivision and Development Applications listed in Appendix B of the Municipal Development Plan.

The 1998 Branch Corner Area Structure Plan has been amended four times. The Land Use Concept and policies contained in of this new Area Structure Plan recognizes these amendments. Upon adoption of the new Area Structure Plan, the 1998 Area Structure Plan No.5.98 will be rescinded.

1.4 Process

In preparing the new Branch Corner Plan, considerable emphasis was placed on input provided by affected landowners and the public. A comprehensive landowner and public participation program was developed to encourage dialogue and direct input into the development of the Plan document. The landowner and public sessions for Branch Corner were combined with Edson West sessions since the two Plan areas are directly linked by existing and future roads systems.

The consultation program included the following elements:

1. **Landowner Meetings** – Two land owner meetings were held – one to gather input for preparing the Area Structure Plan and a second to present a draft subdivision design and Plan policies. Invitations were mailed to all area landowners. Sixty six (66) landowners attended the two sessions. The majority of landowners expressed general satisfaction with the draft components of the Edson West Area Structure Plan presented at the second meeting.
2. **Public Information Sessions** – Two public information sessions also were held – one to obtain public input early in the plan preparation process and a second to present the draft design and Plan policies. The sessions were advertised twice in the Edson Leader and all landowners were invited to attend. Twenty one (21) participants and a representative from the Edson Leader attended the two sessions. No concerns were expressed by the public in response to the draft components of the Area Structure Plan.
3. **News Releases** - Articles in the form of news releases were provided to local newspapers at the initiation of the project and in advance of the public sessions. The releases are intended to promote key Plan events, keep the public informed on plan progress, and to maintain ongoing interest in the Area Structure Plan.

Alberta Transportation was contacted directly for input into the Traffic Impact Assessment prepared in support of this Area Structure Plan. The Plan has been circulated to other public agencies but input was minimal given the recent adoption of the Intermunicipal Development Plan and the considerable involvement of agencies in the preparation and approval of that Plan.

In addition to the input provided by agency representatives, landowners and the public, the plan preparation process involved a comprehensive investigation and evaluation of all relevant information pertaining to future development within the Plan area. An internal road system and municipal servicing options were considered as well as stormwater management requirements.

A Steering Committee was established to provide overall project guidance and direction for both the Branch Corner and Edson West Area Structure Plans. The 14 member Area Structure Plan Steering Committee included:

<u>Town of Edson</u>	<u>Yellowhead County</u>
Mayor Greg Pasychny	Mayor Gerald Soroka
Councillor Jim Gomuwka	Councillor Cheryl Bissell
Councillor Arlan Delisle	Councillor Larry Richter
Clarence Joly, Town Manager	Jack Ramme, CAO
Dawit Solomon, Engineering Director	Brent Shepherd, Planning & Development Supervisor
Bob Bown, Planning Manager	Barb Lyons, Director of Planning & Corporate Services
	Don O'Quinn, Director of Infrastructure Services
	Jan Karasek, Development Officer

2 EXISTING CONDITIONS

The Branch Corner Plan area is characterized by a diversity of natural and man-made features and land uses. This Section summarizes those existing conditions that are significant for future subdivision and development. Conditions described include the surrounding land use pattern, natural features, existing land use and zoning, infrastructure systems and pipelines.

2.1 Surrounding Land Uses

As is noted in Section 1, the Plan area is located two miles west of Edson and is centered on the Highway 16 and 47 interchange. The lands between Branch Corner and Edson which are affected by the Edson West Area Structure Plan are currently used primarily for extensive agriculture with some scattered residential and industrial uses. Lands to the north and west of Branch Corner are also used mainly for agriculture with some residential uses. Extensive natural forested and muskeg areas as well as Crown lands exist further north. Similarly, a mix of cleared and forested agricultural uses exist south of the Plan area along with some Crown land. The McLeod River is located just south of Branch Corner. Little Sundance Creek that extends through the southwest corner of the Plan area flows into the river about one mile south of Branch Corner.

The most significant uses surrounding the Plan area are:

- The Sundance Wood Products plant located directly south of the area, east of Highway 47;
- The Talisman gas plant located directly southeast of the area in Edson West; and;
- School Lake located adjacent the east plan boundary on the south side of Highway 16.

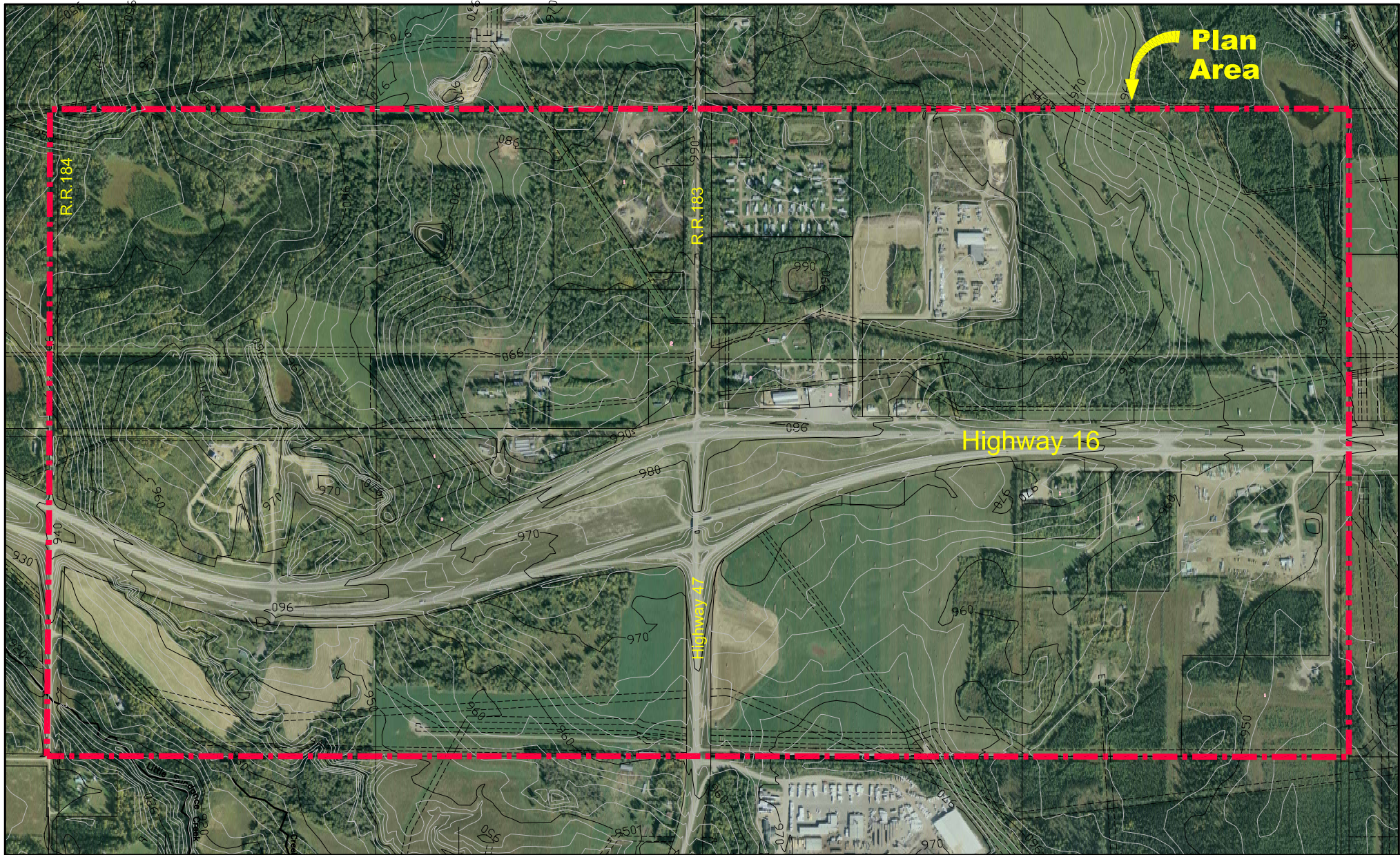
The Sundance and Talisman operations both result in adverse off-site impacts including noise and noxious odour. This means that to encourage land use compatibility, industrial development may be an appropriate future use in the southeast quadrant of Branch Corner, east of the Highway 47 and south of Highway 16.

2.2 Natural Features

Natural features are shown on Figure 2 – Aerial Photo. The Plan area contains few significant topographic or environmental features. Most of the west half of the area is gently rolling with considerable tree cover evident in the northwest quadrant. A ridge extends through this quadrant providing opportunities for mountain views. The tree cover comprises a mix of mature poplar and spruce stands. Where possible, development should protect and integrate the natural forest in this portion of the Plan area.

Significant clearing has occurred in the easterly half of the area which is relatively flat with a gentle slope towards the east. Some sporadic tree cover remains. The area appears to be well drained and no standing water is evident.

As is noted above, a portion of Little Sundance Creek runs through the very southwest corner of the Plan area. This creek is the only significant natural feature in the Plan area. The 1998 Branch Corner Area Structure Plan determined that the creek is fish bearing so that its integrity and the integrity of the creek valley will need to be protected from encroaching development.



Branch Corner Area Structure Plan

Figure 2
Aerial Photo



N.T.S.
January 2010



2.3 Existing Land Use and Zoning

The predominant land use in the Plan area is extensive agriculture and, as such, most of the area is zoned Rural District (see Figures 3 and 4). The purpose of the Rural District is to provide for uses which are appropriate in a rural environment and support or can co-exist in areas of agricultural use.

However, considerable development exists in the **northeast quadrant** of the Plan area, specifically in the SW ¼ of 15-53-18-W5M located adjacent Range Road 183 which is designated future Highway 947 by Alberta Transportation. This ¼ section contains a UFA service station/fuel storage operation that includes a restaurant and other ancillary structures, and is located in the southwest corner of the ¼ section along Highway 16. This operation is accessed off Highway 16 by a right in only slip ramp that will be closed in future. The commercial use is zoned Highway Commercial District.

Yellowhead Wood Products is located in the northeast portion of the SW ¼ of 15-53-18-W5M and is separated by a treed buffer from a manufactured home park located to the west along Range Road 183. The wood plant is zoned Rural Industrial District while the park is zoned Rural Manufactured Home Park District. An on-site lagoon serves the manufactured home park. Two developed parcels within this ¼ section are zoned Country Residential District. A residence located on a parcel zoned Rural District exists in the very northwest corner of this quarter.

As is noted in Section 2.2, most of the land located in the **northwest quadrant** of the Plan area, west of Range Road 183 and north of Highway 16 is treed. Although a small number of residences exist, only one is zoned Country Residential District. A subdivision comprised of four lots backs onto Highway 16. Two of the four lots are developed with one of the two operating a green house as a home industry. These lots are zoned Rural District. An industrial operation located adjacent the west side of Range Road 183 is also zoned Rural District although the 1998 Branch Corner Area Structure Plan has been amended to recognize this industrial use.

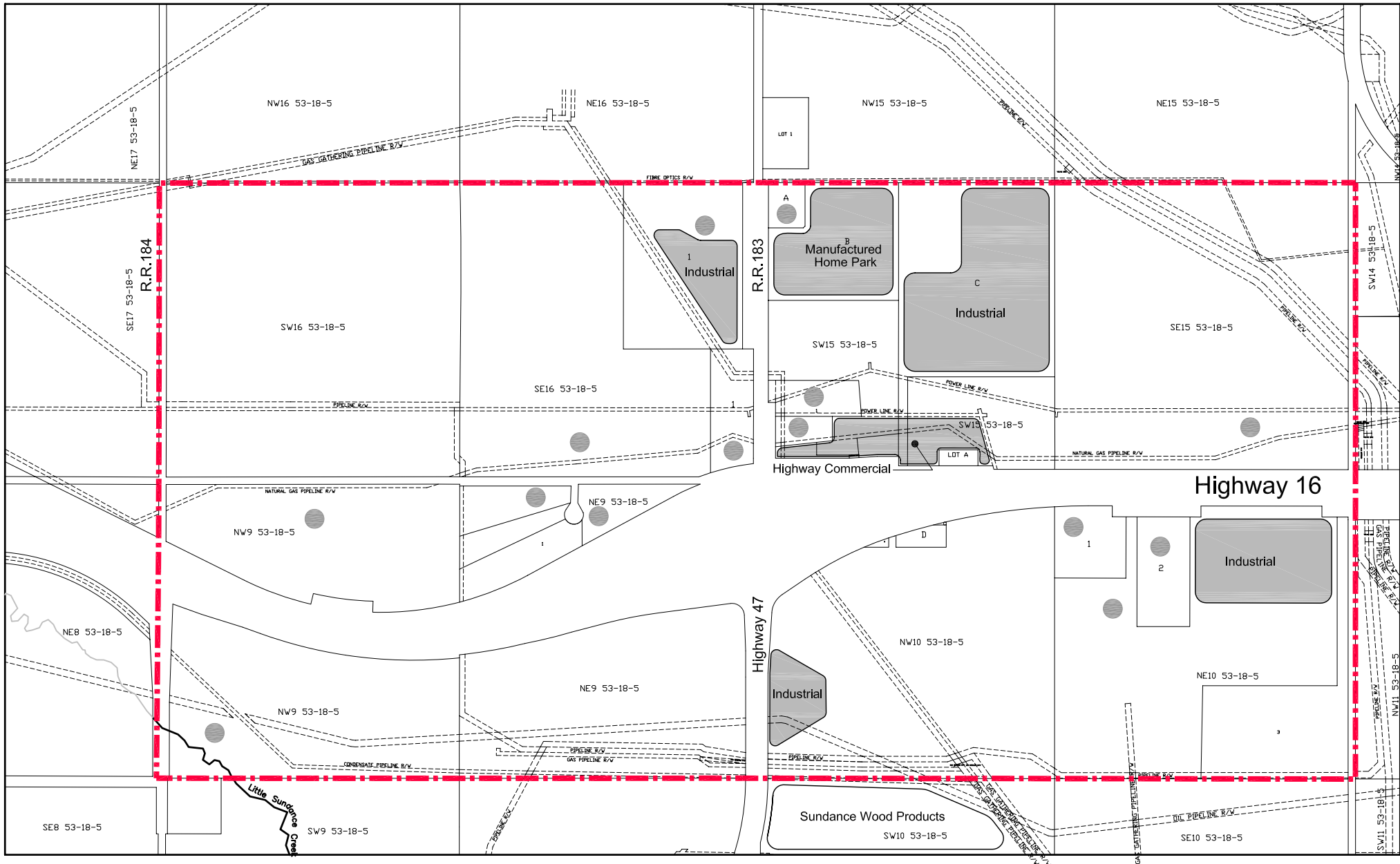
A residence is a permitted use in the Rural District while home industries, rural industrial and natural resource extraction are discretionary uses. This means that all existing uses in the northwest quadrant of Branch Corner comply with the County's Land Use Bylaw.

In the **southeast quadrant**, south of Highway 16 and east of Highway 47, the NW ¼ of 10-53-18-W5M is zoned Rural Industrial and contains one industrial development. Most of this ¼ section is currently vacant farmland although an industrial subdivision proposal is pending based on the approval of this Area Structure Plan. The NE ¼ of 10-53-18-W5M is zoned Rural District and contains five parcels including the remnant. The Rural District allows for a maximum of five parcels so that any further subdivision will require a rezoning that complies with this Area Structure Plan.

The **southwest quadrant** located west of Highway 47 and south of Highway 16 is also zoned Rural District, is used for agriculture and contains one residential development.

2.4 Existing Road System

Access to Highway 16 is available to most of the lands fronting the highway via short stretches of service road or via the Highway 47 interchange. Four all directional at grade intersections exist along Highway 16 including two west of Highway 47 - one to serve a residence and the second at Range Road 184 that borders the Plan area on the west.



**Branch Corner
Area Structure Plan**

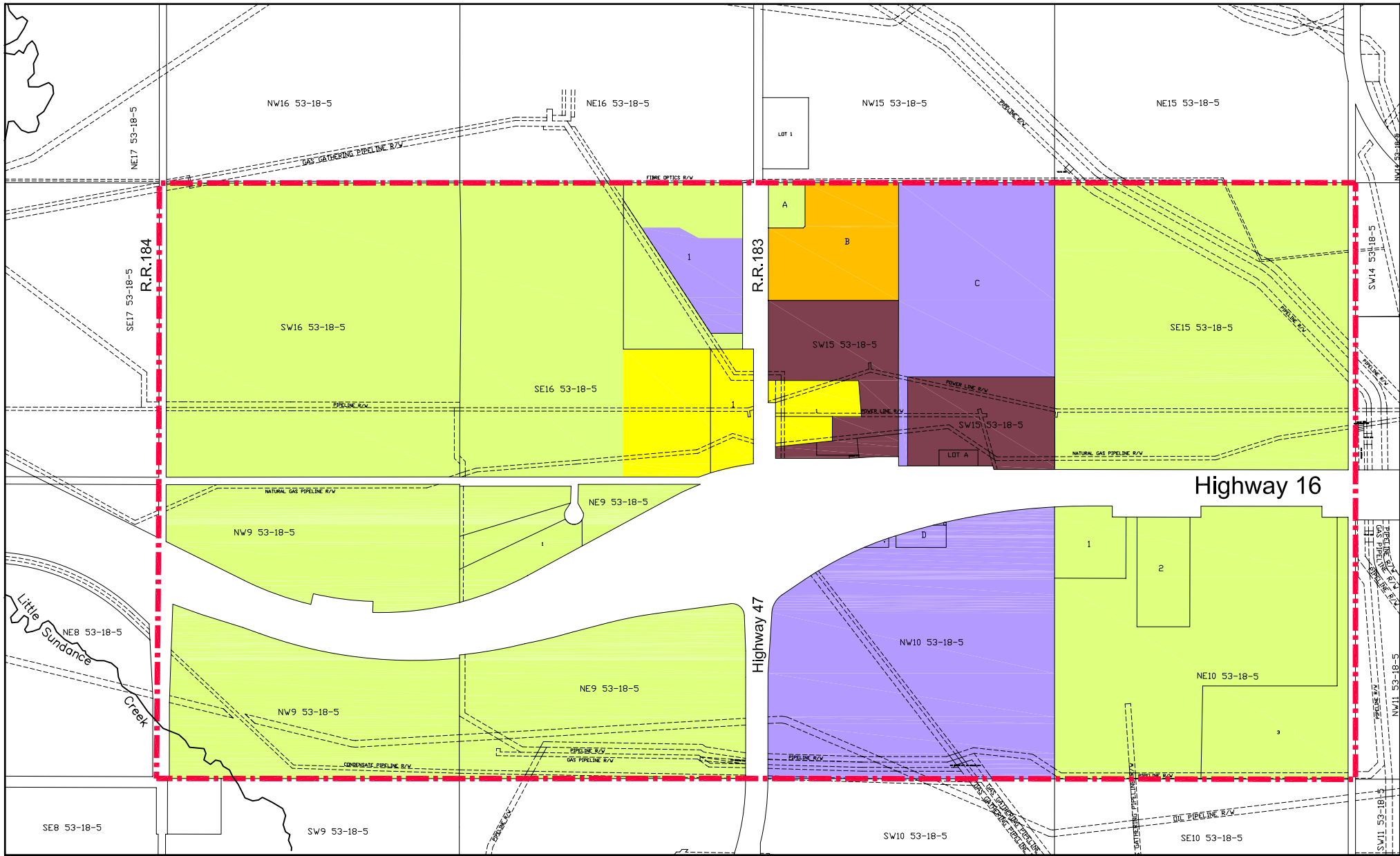
**Figure 3
Existing Land Use**

● Existing Residence



N.T.S.
January 2010





**Branch Corner
Area Structure Plan**

**Figure 4
Existing Zoning**

- RD Rural District
- RI Rural Industrial
- CR Country Residential
- RMHP Rural Manufactured Home Park
- HWY-C Highway Commercial



N.T.S.
January 2010



This Range Road extends less than one mile south and half a mile north of Highway 16, and provides access to a limited number of residences and farmsteads.

The two intersections located east of Highway 47 will be closed once the interchange for the proposed Highway 16 bypass is constructed just west of Edson as per the Functional Planning Study prepared for Alberta Transportation. Access to Highway 16 will be via roads that link to the existing Highway 47 interchange and the future interchange. The Highways 16/47 interchange is a half interchange. The right-of-way contains sufficient width to complete the interchange if traffic demand warrants in future.

The slip ramp noted in Section 2.3 provides access to the highway commercial uses for west bound traffic but east bound traffic must access via the Highway 16 and 47 interchange.

Two approaches exist onto Highway 47 south of Highway 16 at the south boundary of the Plan area Highway 47 links with Highway 40 just south of Robb and is an important resource road. North of Highway 16, Alberta Transportation designates Range Road 183 as future Highway 947 that may be extended to link with Highway 43 just south of Fox Creek. Currently, Range Road 183 runs just over one mile north of Highway 16. This Range Road provides access to developments within the north portion of Branch Corner including the manufactured home park.

2.5 Municipal Services

2.5.1 Water

Except for the manufactured home park, existing developments in the Plan area are served by on-site water wells or cisterns. The manufactured home park is served with a piped water distribution system fed from a communal well. Until piped water from the Town can be extended into the Plan area, the range of industrial uses will be limited because of lack of pressurized water required for firefighting purposes. An existing 300mm water stub is located adjacent to the west boundary of the Town of Edson that may eventually be extended through Edson West to the east half of the Branch Corner Plan area. A detailed calibrated water model network is required to address water servicing strategies for the Plan Area which will be determined by the Master Servicing Plan being undertaken by the Town of Edson and Yellowhead County. The Servicing Plan will consider required upgrades to the Town's water system and the feasibility of extending a piped water system into portions of Branch Corner.

2.5.2 Sanitary Sewage

On-site private sewage disposal systems that may include pump-out tanks are used in much of the Plan area. These systems must comply with Alberta Labour's Private Sewage Disposal Standard of Practice Regulation.

A privately owned and operated evaporation lagoon located in the northeast quadrant within the SW ¼ of 15-53-18-W5M serves the manufacture home park. Based on site inspection, the lagoon appears to be poorly maintained and may be inefficient.

2.5.3 Stormwater Management

Stormwater in Branch Corner drains into various receiving water bodies either overland or through culverts and along well defined roadside ditches. Overland flow likely drains into the McLeod River or School Lake except for the southwest portion of the Plan area that drains into Little Sundance Creek. To the north, localized low areas outside the Plan area intercept run-off which ultimately drains west to Little Sundance Creek.

2.6 Pipelines

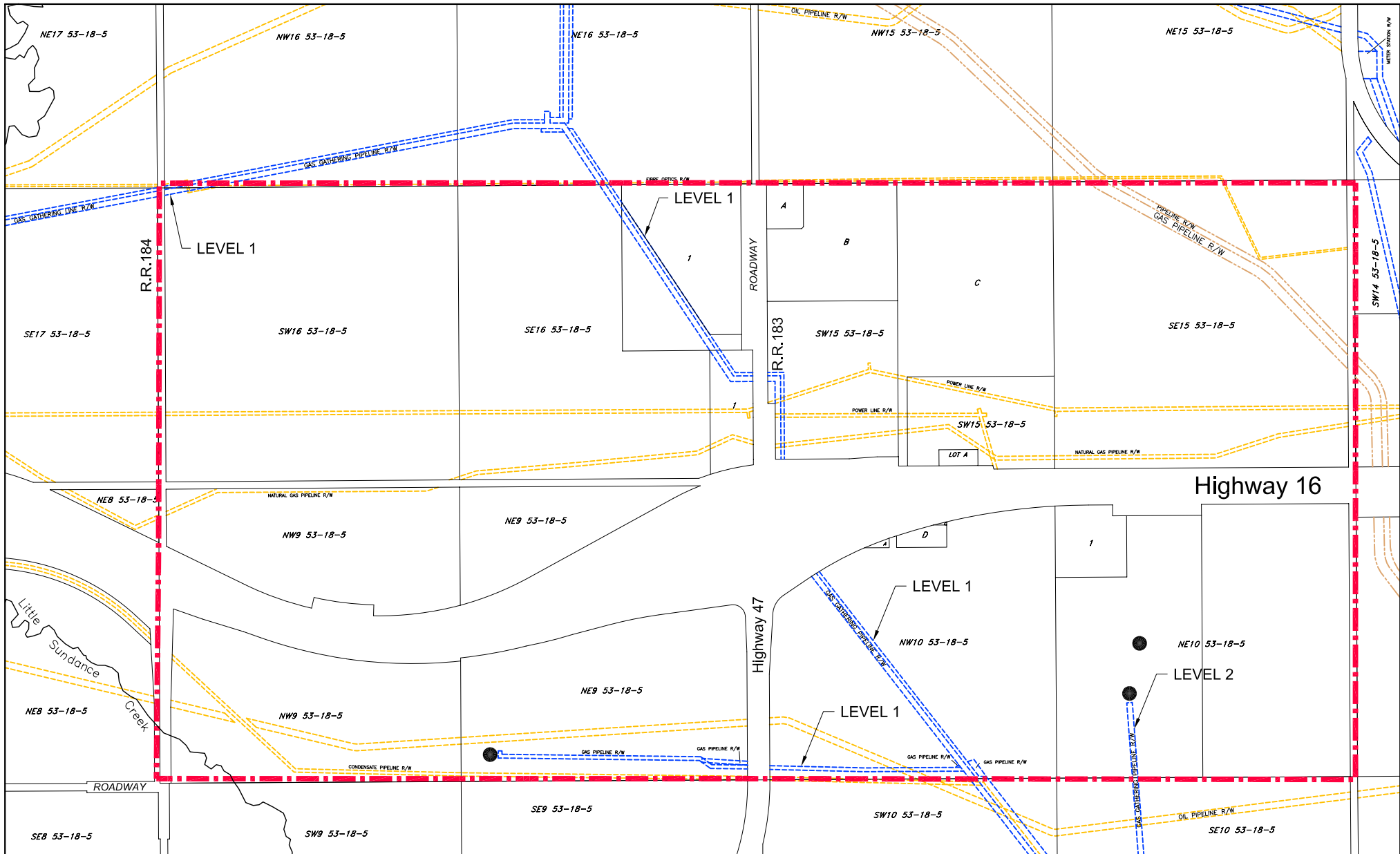
Pipeline rights-of-way that extend through the Plan area are shown on Figure 5. Numerous gas pipelines and pipeline corridors including sour gas lines traverse the area. The corridors run diagonally through the Plan area ignoring legal lot lines. No permanent development can occur on a pipeline right-of-way. This means that, to the extent possible, subdivision plans should be designed such that rights-of-way are located along the perimeter of lots thereby maximizing the size of the building pocket on the lot and reducing potential conflicts with the pipelines.

Sour gas lines are also shown on Figure 5. Energy Resources Conservation Board (ERCB) Directive 056: Energy Development Applications and Schedules (July 2008) requires setbacks from sour gas lines to certain types of uses. The setbacks vary based on levels of H₂S release volumes. Most of the sour gas lines in Branch Corner are level 1 pipelines. The setback from a level 1 pipeline to all uses is the pipeline right-of-way. One level 2 pipeline extends from a well site through the southeast quadrant of the Plan area. The level 1 setback provisions also apply except that a 100 metre setback is required from a level 2 line to a residence.

2.7 Implications for Future Development




The most significant implications for future development of the foregoing existing conditions are summarized as follows:

- The Sundance Wood Products plant combined with the Talisman Energy sour gas plant have significant off-site impacts including noxious odour and noise. Rural industrial uses are most compatible with these plants and should be encouraged in southeast quadrant of the Plan area.
- The only significant natural feature in Branch Corner is Little Sundance Creek which is a fish bearing stream so that it is particularly important that it be protected from development. The creek is also an amenity and provides an opportunity for country residential development assuming appropriate setbacks are maintained.
- The natural tree cover combined with the view opportunity in parts of the northwest quadrant of the Plan area provide additional opportunities for country residential development.
- A significant nucleus of highway commercial and industrial uses exists near the Highway 16/47 interchange in the northeast quadrant, specifically in the SW ¼ of 15-53-18-W5M. This nucleus provides an opportunity for additional such uses to extend east along Highway 16 and would compliment similar uses being proposed by the adjacent Edson West Area Structure Plan.



Branch Corner Area Structure Plan

**Figure 5
Pipelines**

-  Pipeline R/W
-  Natural Gas Pipeline R/W
-  Sour Gas Pipeline R/W



N.T.S.
January 2010



- The manufactured home park is self sufficient in terms of municipal servicing and although not compatible with future industrial uses, has existed for many years and provides an affordable housing option for Yellowhead County residents. The park should be retained.
- At the time of subdivision, the Rural District lands in Yellowhead County will need to be rezoned in compliance with this Area Structure Plan.
- On-site water and sanitary sewage disposal systems that meet the requirements of Yellowhead County, the Town of Edson and the province will continue to be considered until such time that the Municipal Servicing Plan is completed. The feasibility of extending piped water from the Town of Edson through Edson West will need to be further investigated.
- Stormwater management plans should be required for new subdivisions and developments to ensure that stormwater is released at predevelopment rates so that adjacent lands are not flooded and so that contaminants are not released into Little Sundance Creek, School Lake or the McLeod River.
- Particular care is required at the subdivision design stage to ensure that no permanent development occurs on pipeline rights-of-way.
- The southeast quadrant of Branch Corner contains a level 2 sour gas line. Although a 100 metre setback is required from a residence, no setback is required for industrial uses making this an appropriate use for this quadrant.

The foregoing implications are considered in developing a future land use concept for Branch Corner. This concept is described in Section 3.

3 LAND USE CONCEPT

The proposed Land Use Concept for the Branch Corner Area Structure Plan area is shown on Figure 6. A mix of land uses is proposed to recognize existing uses and the 1998 Area Structure Plan as amended. As well, new opportunities resulting from the Edson West Area Structure Plan and the potential for extending a piped water system from the Town of Edson are considered.

It is important to recognize that the uses and density of development being proposed by the Land Use Concept will not be affected if the Master Servicing Plan being undertaken by the Town of Edson and Yellowhead County determine that extending municipal water to Branch Corner is not feasible. This means that the proposed road pattern also will not be affected and subdivision can proceed on the basis of the road system shown on Figure 6. However, the types of development that can locate in Branch Corner may be affected because a piped pressurized water system is required for more effective firefighting purposes.

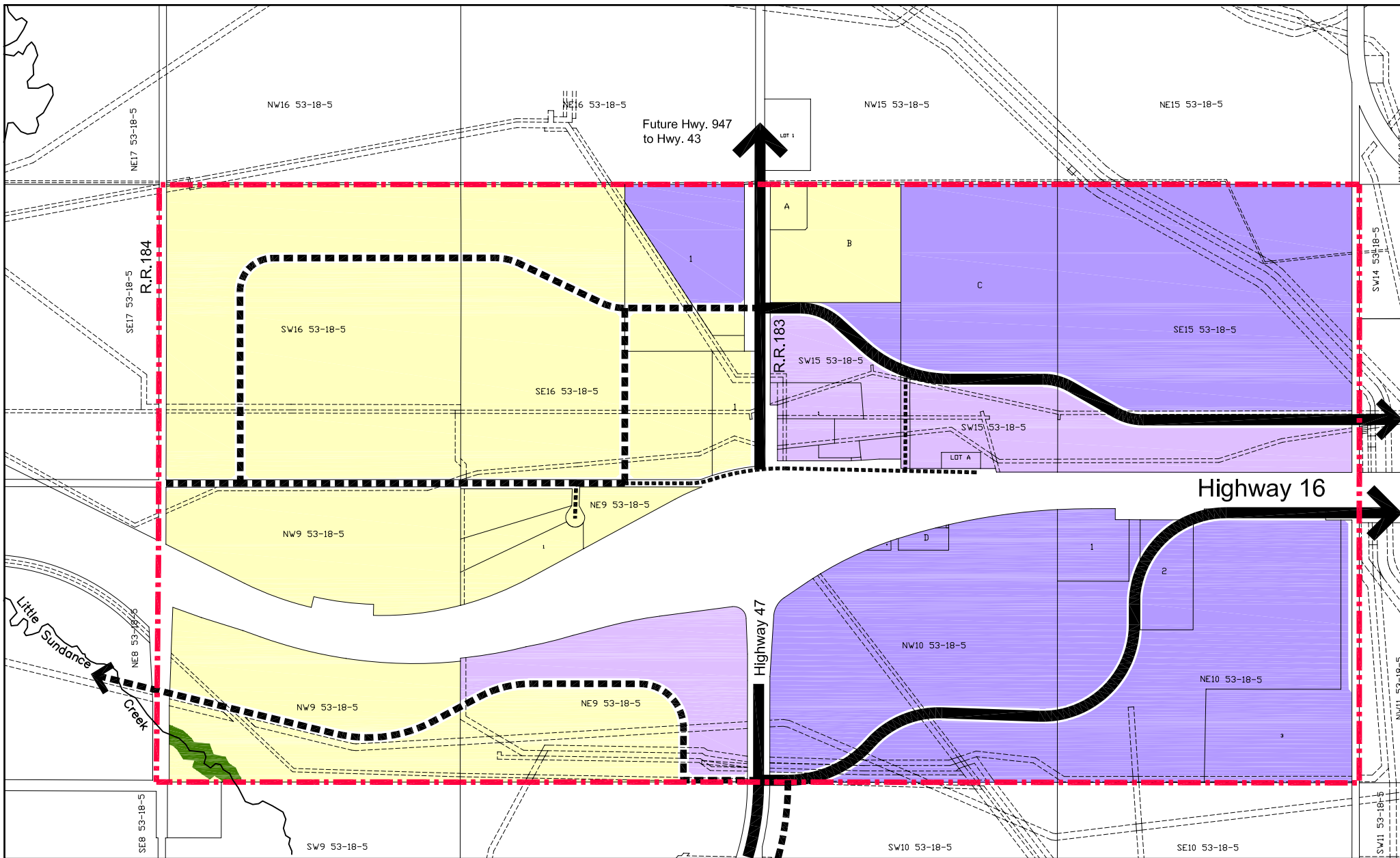
The Land Use Concept complies with most of the objectives of the 1998 Area Structure Plan thereby ensuring continuity between the 1998 and this current plan. The relevant objectives of the 1998 plan are as follows:

1. To provide the opportunity to fully realize the development potential resulting from the interchange of Highways 16 and 47 for highway commercial and industrial uses at Branch Corner.
2. To protect the integrity of the Highways 16 and 47 interchange by ensuring that the proposed land use pattern and development density can be served by limited highway access as approved by Alberta Transportation.
3. To minimize future land use conflicts by promoting a compatible land use pattern, applying proper screening and buffering techniques, or an appropriate combination thereof.
4. To protect significant environmental features in their natural state.
5. To optimize the development potential of unique and/or interesting natural features.
6. To direct country residential development to the west portion of the Plan area where the vegetation, view potential and natural features provide the greatest opportunity for such development.
7. To recognize the physical capacity of Branch Corner to sustain development.

The land use pattern described below recognizes these objectives.








3.1 Future Land Use

In the **northeast quadrant** of the Plan area, the Land Use Concept designates most of the lands contained in the Plan area along Highway 16 as future business commercial/light industrial. This use is compatible with the existing highway commercial uses and is also an extension of the business commercial development proposed along the highway by the Edson West Area Structure Plan so that the two plans are complimentary in terms of future land use.



Branch Corner Area Structure Plan

Figure 6 Land Use Concept

- | | |
|---|--|
|  Industrial |  Natural Area |
|  Business Commercial
Light Industrial |  Arterial Road |
|  Residential |  Collector Road |
| |  Existing Road |



N.T.S.
January 2010



Business commercial refers to uses that are low intensity business and service commercial uses and activities that may be located in planned business centres and that typically display a high standard of appearance. These uses require a highly visible location along a major highway such as Highway 16. Access to Highway 16 is also important and will be limited in future to the existing interchange with Highway 47 once the Highway 16 bypass south of Edson is built. At that time, Highway 16 will function to a freeway standard. The roadway system shown for Branch Corner connects through Edson West to the future Highway 16 interchange proposed on the west side of Edson as part of the bypass project. Examples of types of business commercial uses include hotels, motels, gas bars, service stations, commercial recreation facilities, RV parks, financial institutions, restaurants, offices, and retail warehouse stores. Some of these uses may not be feasible at Branch Corner unless municipal services (piped water and sewer) are extended from the Town. However, a restaurant already exists suggesting that not all uses require an urban level of municipal services.

Light industrial refers to uses that do not have any external impact beyond the parcel boundary and that are generally considered to be *clean* operations. As such, these uses are compatible with business commercial operations. By allowing for light industrial as well as business commercial uses along Highway 16, development opportunities are increased significantly. Examples of types of light industrial uses suitable for Branch Corner include: manufacturing or assembling of semi-finished or finished goods; cleaning, servicing or repair businesses; terminals for the storage or trans-shipping of goods and equipment; and, distribution and sale of materials, bulk goods and equipment.

Rural industrial development is proposed back of the business commercial lands to recognize existing development and zoning, and to provide development options in this quadrant since extending a piped sanitary sewer system to Branch Corner may not be feasible. Rural industry typically results in a lower density so that on-site sewage treatment systems become more sustainable.

The Land Use Concept recognizes the manufactured home park and the country residence parcel located directly northwest of the park. This park has existed for well over 10 years, provides affordable housing for County residents, and may continue to provide affordable housing well into the future. A change in use is not warranted given the significant amount of non-residential development being proposed for Branch Corner. However, a buffer is required from adjacent rural industrial developments. A significant tree stand currently exists within the adjacent developed industrial parcel to the east. A strip of trees should be retained on this parcel as part of a development permit for expanding the industrial use in future. A minimum 20 metre strip of trees is recommended to the east and south of the park for effective buffering.

For the **northwest quadrant**, the Land Use Concept proposes continued country residential development. Such development will:

- Be compatible with existing residential uses.
- Take advantage of the natural amenities of the area including vegetation and view potential
- Allow for the integration of treed and low lying areas into residential lots since a smaller building site and less clearing is typically required than for non-residential uses.

The existing rural industrial development located in the northeast corner of this quadrant is recognized by the Land Use Concept. The developed triangular lot has direct access off Range Road 183 and is separated from future country residential uses by a pipeline corridor, trees and a low lying area (see Figure 2). The continued industrial use, therefore, will not negatively impact future residential development.

The likelihood of being able to economically extend piped water from the Town of Edson west of Highway 47 is considered to be slim because of the distance from the Town. As such, low density residential development with on-site services that comply with Yellowhead County's subdivision requirements are appropriate for this northwest quadrant.

For the **southeast quadrant**, the Land use Concept assumes continued rural industrial development. This land use designation recognizes:

- The existing industrial developments as well as the nearby Sundance Wood Products and Talisman Energy plants. These plants are not compatible with residential development and are more compatible with industrial than with business commercial uses.
- The recent rezoning of the westerly ¼ section (NW ¼ 10-53-18-W5M) from Rural District to Rural Industrial District as requested by the landowner who intends to subdivide the ¼ section for industrial purposes.
- The level 2 sour gas line located in the easterly ¼ section (NE ¼ 10-53-18-W5M) that requires a 100 metre setback from a residence but no setback other than the right-of-way boundary from industrial uses.

Finally, for the **southwest quadrant**, the lands adjacent to Highways 16 and 47 are proposed as business commercial/light industrial to take advantage of highway visibility and access to the Highways 16 and 47 interchange. The lands back of the highways and along Little Sundance Creek are proposed as future country residential. The business commercial uses will buffer residential development from highway noise. Country residential development backing onto Little Sundance Creek takes advantage of the opportunity afforded by this amenity feature and, assuming appropriate setbacks, will protect the integrity of the creek and its treed valley. The proliferation of pipelines in the south portion of the NE ¼ of 9-53-18-W5M will require that the country residential lots be relatively large to allow for a suitable building site and on-site water and sewage treatment systems. As is noted above, the likelihood of piped water being extended west of Highway 47 is considered to be slim.

3.2 Future Road System

The future road system proposed to serve the Land Use Concept is shown on Figure 6. The system has been designed to recognize:

- The pipeline network that traverses the Plan area;
- Alberta Transportation's Functional Planning Study for the Highway 16 bypass that requires all at grade intersections to the highway be closed once the interchange at the west side of Edson is built. Alberta Transportation has indicated that existing at grade intersections may be closed prior to this intersection being built. All highway traffic will be directed to the new interchange west of Edson and to the Highway 47 interchange. This means that some of the traffic generated by developments in Edson West will need to access Highway 16 through Branch Corner
- The Traffic Impact Assessment (TIA) prepared in support of the Functional Plan and this Area Structure Plan.

The conclusions and recommendations of the TIA are as follows:

1. As is noted above, to be consistent with Alberta Transportation's plan to operate Highway 16 as a freeway, direct access to Highway 16 cannot be permitted from the existing Highway 16 access points. In addition, the existing service road connection to the future Highway 947 just north of Highway 16 westbound will need to be closed.
2. Access to the Branch Corner Area Structure Plan will be from Highway 47 south of Highway 16 and the future extension of Highway 47 north of Highway 16, as well as from arterial roads extending to the east through the Edson West Area Structure Plan.
3. Although not explicitly analysed in this TIA, as development occurs in Branch Corner north of Highway 16, signal warrants could be reached for the existing at grade intersection of Highway 16 westbound with Highway 47.
4. Traffic signal warrants will be checked with each development application in order to ensure that signals are not needed on Highway 16 westbound at Highway 47.
5. Measurements of future development-generated traffic will be made to confirm trip generation rates and traffic routing.

Alberta Transportation has indicated that the following existing intersections will be closed when local road connectivity to Highway 47 south and Range Road 183 (Highway 947) becomes available or as the opportunity arises:

- Range Road 184 north and south
- NW ¼ of Section 9-53-18-5 north and south
- NE ¼ of Section 10-53-18-5 east and west
- SE ¼ of Section 15-53-18-5 north

3.3 Municipal Servicing

As is noted in Section 2, water wells and cisterns currently serve the Plan area and on-site sewage disposal systems that may include pump-outs are used to treat wastewater. The Master Servicing Plan will determine if water can be economically extended from the Town of Edson into all or a portion of the Plan area. A pressurized water system is required for some types of uses being proposed by this Area Structure Plan for firefighting purposes. In the interim, all multi-lot subdivision proposals should provide details of an adequate water supply for firefighting purposes.

The Master Servicing Plan will also determine the feasibility of extending the Town's piped sewage system into Branch Corner. Many industrial uses do not generate large volumes of wastewater so that the continued approach of on-site treatment or pump-outs may continue to be viable well into the future. However, some types of commercial uses are best serviced by a piped system.

3.4 Stormwater Management

As conceptually illustrated on Figure 7, the Plan area will be serviced by multiple interconnected stormwater management facilities. North of Highway 16, subcatchment 10 conveys stormwater into subcatchment 1 which discharges to School Lake. Subcatchment 11 discharges northwest of the Plan area into a Little Sundance Creek. Subcatchment 14 conveys flows across Highway 16 into subcatchment 12. Next, storm flows are routed through subcatchment 13 into a proposed ditch, south and downstream of School Lake, which discharges into subcatchment 7 stormwater management facility. Subcatchment 7 stormwater discharges into an outfall ditch that conveys storm flows into the McLeod River.

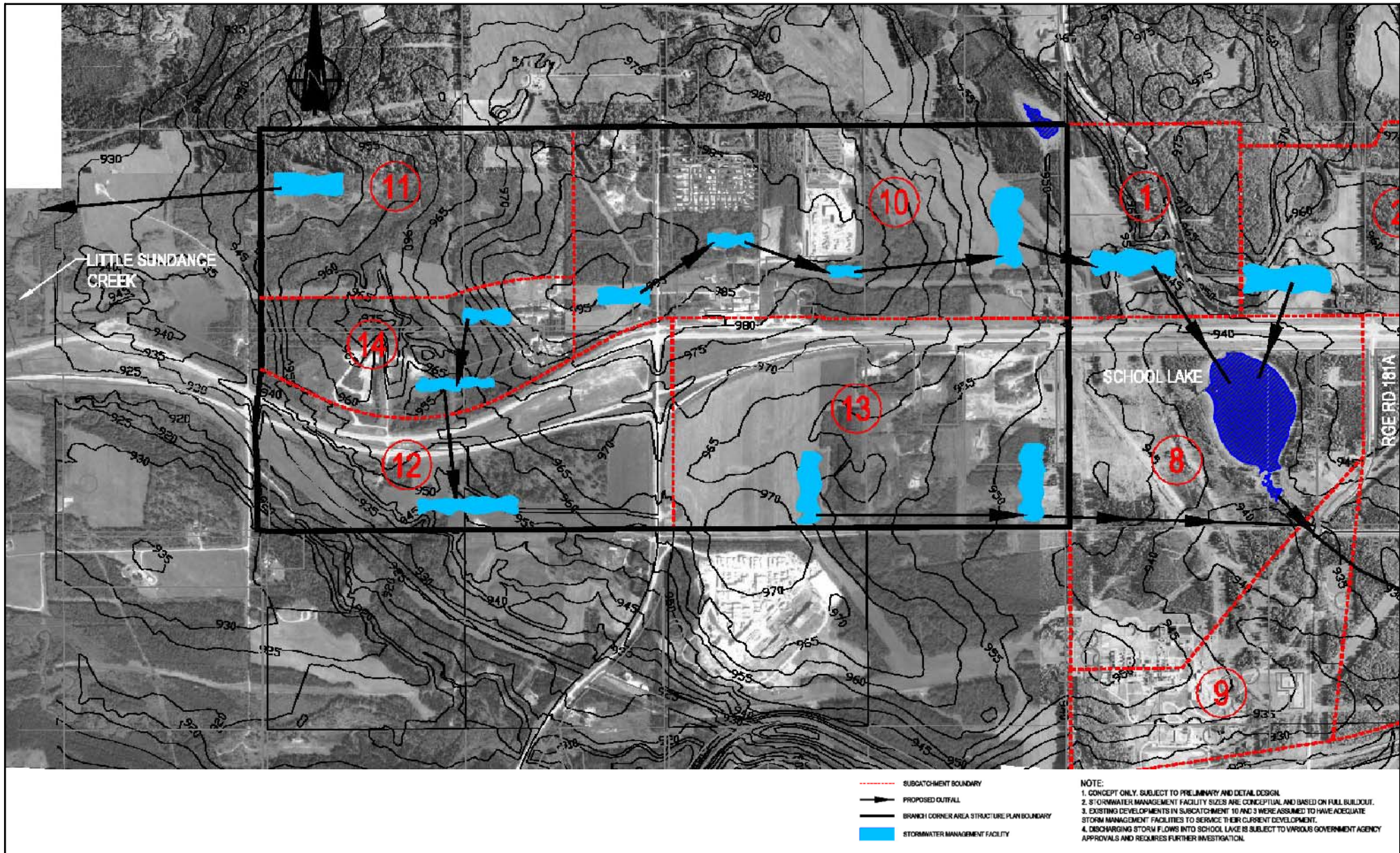
The stormwater management facilities will be designed to contain the 1:100 storm event within their drainage basins. The areas that have been allocated relate to that required for full build out within the basin. The individual facilities can be constructed in stages, and expanded as growth within the basin occurs.

Preliminary sizing of the system has been done on the basis that any existing developments already have sufficient onsite stormwater management.

Design of the stormwater management facilities within the Plan area is based upon a discharge rate equivalent to predevelopment flow rates. An initial review of historical watershed characteristics for nearby water bodies, along with review of previous stormwater studies, and assessment of predevelopment flow rates within neighbouring municipalities was completed to determine a predevelopment flow rate for the Plan area. The predevelopment flow rate of 3.0 L/s/ha was determined for the Plan area and should be reviewed in the Master Servicing Plan. It is envisioned that each individual stormwater management facility will discharge predevelopment flows relative to its drainage basin, and each will be sized to allow upstream storm flows to pass through the storm facility without further retention.

In addition to stormwater quantity control, stormwater quality management is required for the Plan area. Stormwater quality can be improved by using stormwater best management practices to aid in improving water quality. Stormwater quality improvement should be addressed before discharging into School Lake and McLeod River. The “flow through” aspect of many of the stormwater ponds will facilitate further water quality enhancement, prior to ultimate discharge into the McLeod River.

Discharging into School Lake, Little Sundance Creek and the McLeod River will require government approvals and warrants further investigation. A constructed channel could be implemented to bypass School Lake should additional storm discharge to School Lake not be permitted by government agencies.



Branch Corner Area Structure Plan

**Figure 7
Stormwater Management**



N.T.S.
January 2010



4 PLAN POLICIES

The Area Structure Plan land use, transportation, municipal servicing and implementation policies are listed below. All new subdivision and development applications must comply with these policies.

4.1 Land Use Policies

- 4.1.1 All future redistricting, subdivision and development shall comply with the Land Use Concept (Figure 6) and policies of the Area Structure Plan.
- 4.1.2 Applications for redistricting and subdivision shall be processed concurrently to ensure compliance with the Area Structure Plan. This policy applies to single and multi-lot subdivision applications. The minimum area to be redistricted shall correspond to the area being subdivided.
- 4.1.3 The Rural Industrial (RI) District of Yellowhead County's Land Use Bylaw shall be applied to all lands designated industrial by the Land Use Concept.
- 4.1.4 Yellowhead County shall amend its Land Use Bylaw to adopt a Business Commercial/Light Industrial District.
- 4.1.5 The Business Commercial/Light Industrial District of the Land Use Bylaw shall be applied to all lands designated as business commercial/light industrial by the Land Use Concept except for those parcels located in the SW ¼ of 15-53-18-W5M that are currently zoned Highway Commercial District (see Figure 4). The provisions of the Highway Commercial District may continue to apply to these parcels only.
- 4.1.6 The Rural Manufactured Home Park District shall continue to apply to the existing park site legally described as Block B, Plan 9121929, SW ¼ 15-53-18-W5M. A change in land use proposed to the existing rural manufactured home park will require an amendment to this Area Structure Plan and will need to be compatible with adjacent land uses at the discretion of the Development Authority.
- 4.1.7 A 20 metre buffer shall be provided between incompatible land uses. Incompatibility and the specific buffer treatment shall be determined in consultation with the Development Authority.
- 4.1.8 Applications for permits for a discretionary use pursuant to the Land Use Bylaw shall be considered only if the proposed use complies with the intent of the Land Use Concept, and the policies of this Area Structure Plan.
- 4.1.9 All future subdivisions shall have regard for pipeline rights-of-way by ensuring that internal subdivision roads and lot configurations allow for rights-of-way to be located in a manner that will not jeopardize their integrity. This means that, to the extent possible, rights-of-way should be located along the periphery of a lot and that a suitable building pocket should be contained within each lot that is unencumbered by a right-of-way. No permanent structures are permitted on a pipeline right-of-way.
- 4.1.10 ERCB setback guidelines from pipelines, wells and other facilities shall be applied in considering new subdivisions.

- 4.1.11 The subdivision requirements of the Development Authority shall apply. The following items must be considered:
- (a) Staging of subdivision and development if applicable;
 - (b) A stormwater management plan that recognizes and refines the stormwater management concept as proposed by this Area Structure Plan;
 - (c) The provision of interim on site municipal servicing that will consider water supply and the method for treating wastewater in compliance with municipal standards and provincial legislation;
 - (d) Identifying what will be required to extend telephone, cable, electricity and gas service to each site;
 - (e) The amount and location of Municipal Reserve or cash in lieu of Municipal Reserve; and,
 - (f) The amount and location of Environmental Reserve.
- 4.1.12 Yellowhead County shall amend its Land Use Bylaw to adopt the Highway 16 Corridor Overlay District proposed by the Edson Urban Fringe Intermunicipal Development Plan.
- 4.1.13 The Highway 16 Corridor Overlay District (see Appendix A) shall apply to all lots located along or visible from Highway 16 and at the discretion of the Development Authority.
- 4.1.14 All multi-lot subdivision proposals shall be required to implement wildfire mitigation measures as contained in the Partners in Protection Program (1999) ***FireSmart: Protecting Your Community from Wildfire***.
- 4.1.15 An application for subdivision for a multi-lot country residential subdivision must comply with the provisions of Yellowhead County's Municipal Development Plan. The applicable policies are:
- Policy 12.6 (a)** Require that, where feasible, natural landforms and vegetation be preserved through the development process as a means to protect the natural visual quality in Yellowhead County and to provide screening of new development.
 - Policy 12.6 (b)** Discourage development that would interfere with or detract from views of water, mountain, or forest features.
 - Policy 12.6 (c)** Discourage development that would interfere with or detract from views from transportation corridors (highways, recreational trails, etc.).
 - Policy 12.6 (d)** Consider the preservation of existing views when evaluating development proposals.
- 4.1.16 All multi lot country residential subdivisions shall be serviced with private water and sewage treatment systems as per Yellowhead County's servicing standards and provincial regulations.
- 4.1.17 Residential subdivision applications located along Little Sundance Creek shall be required to have the top of the bank surveyed by an Alberta Land Surveyor.
- 4.1.18 All lands below the top of the surveyed bank and a 20 metre wide strip of land along the top of the bank of Little Sundance Creek shall be designated as Environmental Reserve Easement to protect the integrity of the bank.

- 4.1.19 No trees shall be removed within 20 metres of the top of the bank and including the bank itself of Little Sundance Creek.
- 4.1.20 Existing tree stands shall be preserved, wherever possible by integrating these features into the design of new country residential subdivisions.
- 4.1.21 Cash in lieu of Municipal Reserve for 10 percent of the gross developable area shall be provided at the time of subdivision.
- 4.1.22 The County may consider the feasibility of linking Township Road 534 to Branch Corner and the Highways 16/ 47 interchange when demand warrants such a linkage

4.2 Transportation Policies

- 4.2.1 Any future upgrading required at access points to Highway 16 and Highway 47 in advance of the construction of the Highway 16 bypass shall be in accordance with the Traffic Impact Assessment prepared in support of this Area Structure Plan, and to the satisfaction of Alberta Transportation and the Development Authority.
- 4.2.2 The County will assume responsibility for implementing intersection improvements at the Highway 47 and Highway 947 intersection and for closing existing accesses to Highway 16 westbound as required by Alberta Transportation. Existing intersections will be closed as a result of, local road connectivity, or development, if signals are triggered or as a result of bypass construction.
- 4.2.3 The future road system shown on Figure 6 is conceptual and will be refined at the time of subdivision to the satisfaction of Yellowhead County and Alberta Transportation.
- 4.2.4 All subdivisions located within ½ mile of Highway 16 shall continue to be referred to Alberta Transportation for comment and input.
- 4.2.5 Rights-of-way required for local, collector and arterial roads shall be dedicated at the time of subdivision as per municipal standards and in compliance with the Traffic Impact Assessment prepared in support of this Area Structure Plan.

4.3 Municipal Servicing Policies

- 4.3.1 A comprehensive storm water management plan may be required to be submitted to the Development Authority and Alberta Environment for all subdivision and development proposals. The management plan shall consider the stormwater management concept as proposed by the Area Structure Plan and will demonstrate how the storm water will be stored on site and released at predevelopment rates and how the storm water will be treated for contaminants prior to release.
- 4.3.2 Interim private on-site sewage disposal systems and cisterns or private water wells shall be considered consistent with the requirements of the Development Authority until such time as the recommendations of the Town of Edson Master Servicing Plan can be implemented. All developments shall be required to comply with the recommendations and standards of the Master Servicing Plan that may include the need to tie into piped water services when these services become available.

- 4.3.3 All multi-lot subdivision proposals shall be required to provide details of an adequate water supply for fire-fighting purposes as required by the Alberta Building Code. Subdivision or development and construction of any development or structure cannot begin until evidence is provided, to the satisfaction of the Development Authority, that the requirements of the Alberta Building Code have been met with respect to provision of an adequate water supply for fire-fighting purposes.

4.4 Implementation Policies

- 4.4.1 Yellowhead County Council shall have responsibility for the implementation of the Branch Corner Area Structure Plan. Council shall:
- a) Adopt the Branch Corner Area Structure Plan by bylaw;
 - b) Adopt the Highway 16 Corridor Overlay District;
 - c) Make all necessary changes to the Land Use Bylaw to comply with the provisions of the Branch Corner Area Structure Plan;
 - d) Review and/or amend the Branch Corner Area Structure Plan as required.
- 4.4.2 Upon adoption of the Branch Corner Area Structure Plan, the existing Branch Corner Area Structure Plan Bylaw No. 5.98 shall be rescinded.

5 CONCLUSION

This Area Structure Plan provides a basis for further redistricting and subdivision of land in Branch Corner for a mix of business commercial, industrial and country residential development purposes. It will need to be updated to reflect the recommendations of the Town of Edson Municipal Servicing Plan slated for completion in 2009. However, the Area Structure Plan policies support continued business commercial, industrial and residential development based on on-site municipal services that must comply with the requirements of Yellowhead County.

Appendix B provides a subdivision design for the Plan area that recognizes the proposed land uses and arterial and collector road systems. The subdivision design is for illustrative purposes only. As is noted in Section 4, applications for subdivision will be required to meet the provisions of Yellowhead County's Land Use Bylaw. For the northwest quadrant of Branch Corner in particular, site specific conditions such as topography and low lying areas need to be determined at the detailed subdivision stage and will largely dictate the size of lots and the subdivision layout.

APPENDIX A: DRAFT HIGHWAY 16 CORRIDOR OVERLAY DISTRICT

Appendix A

DRAFT Highway 16 Corridor Overlay District

1. PURPOSE

To establish a positive visual impression of the Highway 16 corridor by:

- ***Providing greenery and seasonal colour to visually soften paved areas and buildings;***
- ***Preserving existing trees wherever possible;***
- ***Screening unsightly equipment or materials from the view of the highway, adjacent roadways or adjoining properties; and,***
- ***Enhancing the quality and appearance of developed properties within the overlay district.***

2. APPLICATION

- 2.1 The Overlay regulation applies to the development or redevelopment of all lots that are located adjacent to or are visible from Highway 16 at the discretion of the Development Authority.
- 2.2 The Overlay District regulations are to be applied as a condition of a Development Permit.
- 2.3 The Overlay District applies to the redevelopment of existing buildings and facilities as well as all new development.
- 2.4 Wherever possible, trees existing on the site shall be preserved and protected or replaced. Notwithstanding the status of existing vegetation, landscaping of the site shall be subject to the provisions of the Overlay District.
- 2.5 Where the provisions of the Overlay District conflict with other regulations of this bylaw, the more restrictive provisions shall take precedence.

3. GENERAL

- 3.1 All applications for development permits shall be accompanied by a landscaping plan completed by Landscape Architect or a person qualified to perform such work. No development permit shall be issued prior to the approval of the required landscaping plan.
 - 3.2 The landscaping plan shall include the following:
 - (a) Boundaries and dimensions of the subject site;
 - (b) Location of all the buildings, parking areas, driveways and entrances;
 - (c) Location of all exterior lights on the site and their projected light patterns in relation to adjacent public roadways and developments;
 - (d) Location of existing plant materials to be retained;
 - (e) Location of new plant materials;
 - (f) Plant material list identifying the name, quantity and size of plant material;
-

- (g) All other physical features, existing or proposed; including berms, walls, fences, outdoor furniture, lighting and decorative paving; and,
 - (h) A location plan showing the proposed development and landscaping relative to the landscaping and improvements on adjacent properties.
- 3.3 The owner of the property, or his/her successor or assignees, shall be responsible for landscaping and proper maintenance. As a condition of a development permit, an irrevocable letter of credit may be required, up to a value of the estimated cost of the proposed landscaping/planting to ensure that such landscaping/planting is carried out with reasonable diligence. The conditions of the security being that:
- (a) If the landscaping is not completed in accordance with this Bylaw and the landscaping plan within one year after occupying the building or site, then the municipality shall use the security to complete the approved landscape development; and,
 - (b) If the landscaping does not survive a two (2) year maintenance period, the applicant must replace it with a similar type of species and with a similar calliper width or forfeit the portion of the amount fixed equal to the cost of replacing the affected landscaping materials.
 - (c) The letter of credit will be released when the landscaping and other improvements have been completed to the satisfaction of the Development Authority and the two-year maintenance period has expired.

4. PLANTING STANDARDS

- 4.1 All required yards on the site shall be landscaped in accordance with the approved landscaping plan.
 - 4.2 To provide year round colour and interest, a tree mix of approximately 50% coniferous and 50% deciduous, shall be provided.
 - 4.3 50% of required deciduous trees shall be at least 50mm (2.4 in.) calliper and 50% shall be a minimum of 75mm (3.0 in.) calliper above the root ball.
 - 4.4 75% of coniferous trees shall be a minimum of 2.0m (6.6 ft.) in height and 25% shall be minimum of 3.5m (11.5 ft.) in height above the root ball.
 - 4.5 Trees or shrubs shall be provided in accordance with this Section. The number is determined on the basis of the following:
 - (a) One (1) tree for every 40.0 m² (430.6 ft²) and one (1) shrub for each 20 m² (215.3 ft²) of any required yard or setback;
 - (b) One (1) tree for each 25.0 m² (269.1 ft²) and one (1) shrub for each 10.0 m² (107.6 ft²) of required parking area islands. In no case shall there be less than one tree per required parking area island.
 - 4.6 Trees or shrubs should be clustered or arranged in planting beds within the site.
 - 4.7 Trees and shrubs shall be evenly placed at regular intervals when used for screening of adjacent development.
 - 4.8 As required by the Development Authority, all required yards and all open spaces on the site excluding parking areas, driveways, and outdoor storage and service areas shall be landscaped in accordance with the approved landscaping plan.
-

- 4.9 Planting beds shall consist of an odd number of trees to approximate a site mix of 50% coniferous and 50% deciduous with shrubs in a mulched medium such as shredded wood, rocks, or similar materials. Mulch shall not be used as a substitute for plant materials.
- 4.10 At a minimum, a planting bed shall be composed of a mix of three (3) coniferous trees, two (2) ornamental deciduous trees and shrubs.
- 4.11 As required by the Development Authority, the undeveloped portion of the site, excluding parking areas, driveways, outdoor storage and service areas must be graded, contoured and seeded.
- 4.12 On the advice of a Landscape Architect or Arborist, planting standards may be altered to suit unique site topography or soils or micro-climatic conditions.
- 4.13 Retained natural vegetation may be applied to satisfy landscape yard requirements. These plantings may be extended with plant material as specified in this section.

5. LANDSCAPE ISLANDS WITHIN PARKING AREAS

- 5.1 Landscape islands shall be required within at-grade parking areas with a capacity of twenty-five (25) or more vehicles. These islands shall be landscaped in accordance with Section 4 – Planting Standards.
- 5.2 Parking islands shall be placed to provide visual relief and to organize large areas of parking into smaller cells. The number of islands provided shall be to the satisfaction of the Development Authority.

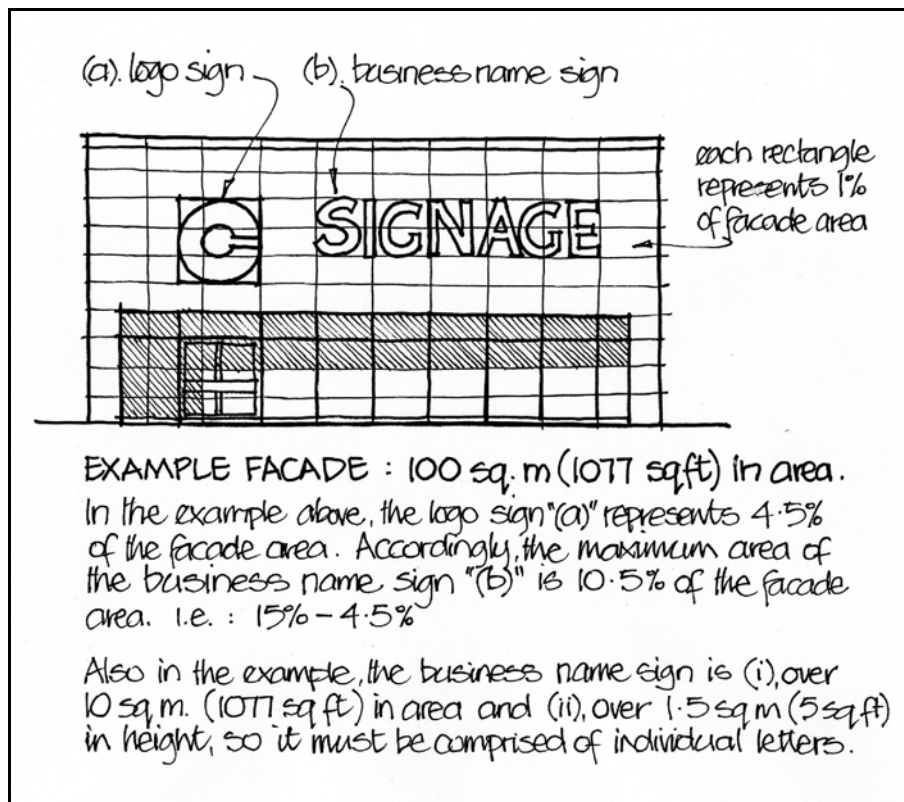
6. ADDITIONAL AESTHETIC REGULATIONS

- 6.1 The Development Authority may require the application of additional aesthetic regulations, if in the opinion of the Development Authority:
 - (a) There is a likelihood that the proposed development will generate undesirable impacts on surrounding sites, such as poor appearance, excessive noise, light, odours, traffic, litter, or dust;
 - (b) There is a likelihood that undesirable impacts may be generated on the site, and cause conflicts with other businesses within the development;
- 6.2 The additional aesthetic regulations that may be required at the discretion of the Development Authority may include, but are not limited to, the following:
 - (a) Additional separation space between incompatible use classes;
 - (b) The use of trees, shrubs, opaque fences, walls, and berms to buffer or screen uses of negative impact;
 - (c) The use of trees, shrubs, planting beds, street furniture and surface treatments to enhance the appearance of a proposed development.

7. SIGNS

- 7.1 Signs shall identify on site developments or facilities only. Signs advertising off-premises developments or facilities (billboards) are not permitted within the overlay district.
 - 7.2 Where more than one business occupies a building, additional signage shall be located in accordance with a comprehensive signage package prepared for the building, and submitted as part of the required landscape plan.
-

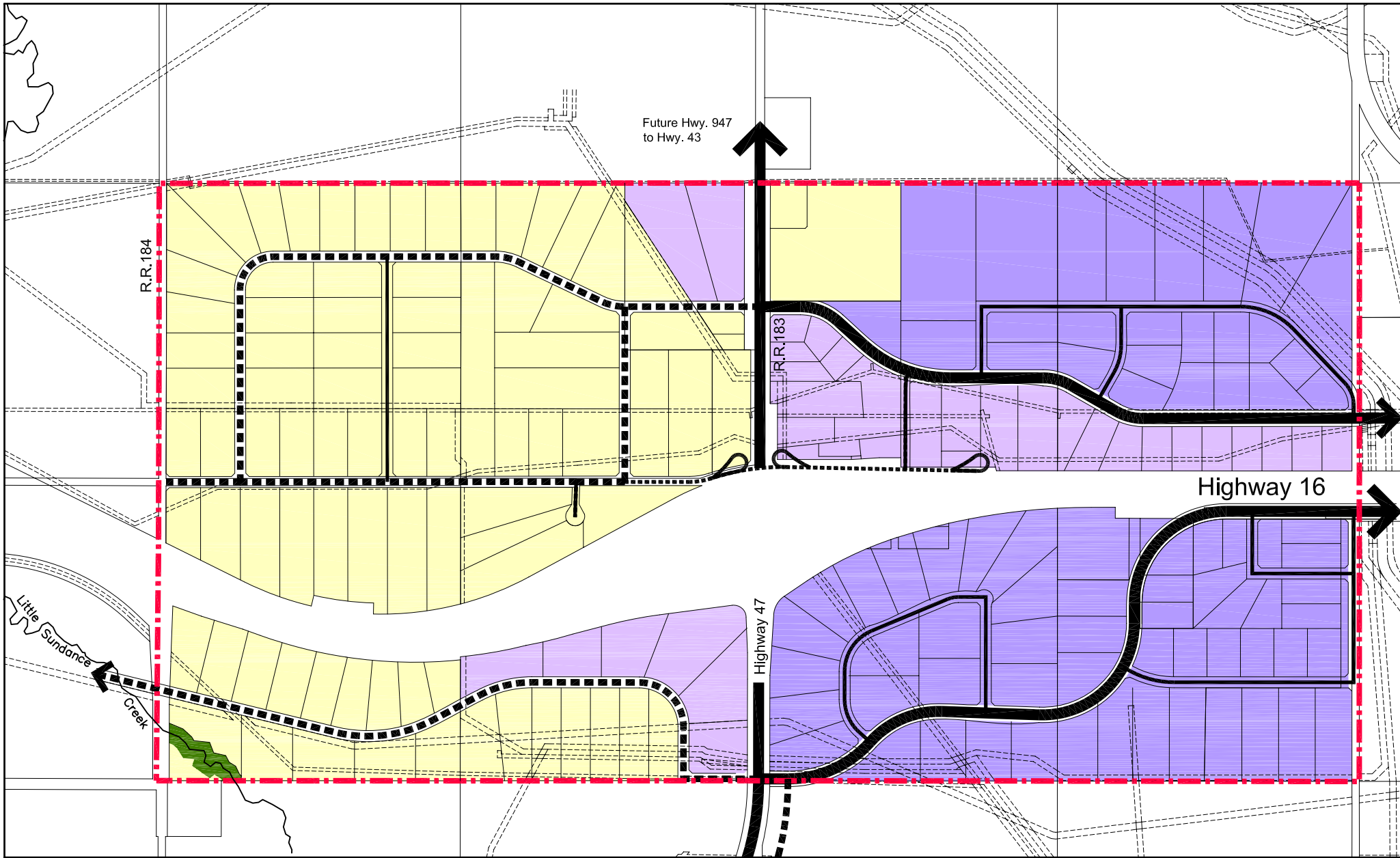
- 7.3 One freestanding identification sign per lot shall be allowed. The sign shall not exceed 9.13 metres (30.0 ft.) in height with no dimension exceeding 4.5 metres (14.76 ft.)
- 7.4 Illuminated freestanding signs shall not exceed 7.62 m (25.0 ft.) in height.
- 7.5 Moving or animated signs and electronic message boards that may distract adjacent highway users are not permitted within the overlay district.
- 7.6 Where buildings abut the highway corridor, signs facing and visible from that corridor may be considered by the Development Authority if they comply with the following principles:
- (a) One illuminated logo sign per visible façade. The maximum dimension of such sign shall not exceed 3.0m (9.8 ft.) in vertical and horizontal direction, parallel to the façade of the building, nor exceed a depth of 0.305m (1.0 ft.)
 - (b) One illuminated business name sign per visible façade shall not exceed 15% of the area of the façade of the building or business premises, whichever governs and shall in no case exceed 40.0 m² (430.6 ft²) (less the area of any logo sign: see a above).
 - (c) To discourage the use of building facades as billboards a business sign exceeding an area of 10.0 m² (107.7 ft²) and 1.5m (5.0 ft.) in height, shall be limited to individual letters or shapes.



8. LIGHTING

- 8.1 Outdoor lighting provided for security, display or attraction purposes for any development shall be arranged so that no direct rays of light are directed at any adjoining site or interfere with the effectiveness of adjacent traffic, and shall comply with the following provisions:
- (a) No light structure shall exceed a height of 7.62m (25.0 ft.);
 - (b) No light shall be attached to a structure above a height of 7.62m (25.0 ft.) along that structure;
 - (c) The developer shall provide a plan indicating the location of all exterior lights, including the projected light patterns in relation to adjacent public roadways and developments; and,
 - (d) No flashing or strobe, or revolving lights, which may impact the safety of motorists using adjacent public roadways, shall be installed on any structure or site.
-

APPENDIX B: ILLUSTRATIVE SUBDIVISION DESIGN



N.T.S.
January 2010



Branch Corner Area Structure Plan

Illustrative Subdivision Design

	Industrial		Natural Area
	Business Commercial Light Industrial		Arterial Road
	Residential		Collector Road
			Local Road
			Existing Road